

Administrative Alternates



DEVELOPMENT
SERVICES
DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831

Administrative Alternate Request: Requested in accordance with UDO Section 10.2.17	OFFICE USE ONLY
Section(s) of UDO affected: UDO Sections 3.2.5 F1, 12.2 and 1.5.9 B4 <small>Provide an explanation of the alternate requested, along with an applicant's statement of the findings</small> <small>See Attached Exhibit A for an explanation & findings for requested alternate per 3.2.5 F1, 1.5.9 B4, & 12.2 (Temporary). See Attached Exhibit B for an explanation and findings of the requested alternate per 1.5.9 B4</small> <small>Provide all associated case plan numbers including zoning and site plan:</small> Transaction #: 581448 / SR-2-2019/ Sheetz Generosity	Transaction Number

Property Address 3701 Generosity Court, 4005 & 4001 Jones Sausage Road (portion of)		Date 02/25/2019
Property PIN 1721496010, 1721497166, 1721498393 (portion of)	Current Zoning IX-3	
Nearest Intersection Jones Sausage Road and Generosity Court		Property size (in acres) 4.2 acres current total Tract Size
Property Owner JTS REAL ESTATE HOLDINGS, LLC and FAS HOLDINGS LLC	Phone 919.782.9306	Mail 3338 Baskwood Forest Ct, Raleigh, NC 27612
	Email	
Project Contact Person Tom Anastasi, Sheetz, Inc.	Phone 615.437.0659	Mail
	Email tanastasi@sheetz.com	
Property Owner Signature 	Email	
Notary Sworn and subscribed before me this <u>5</u> day of <u>April</u> , 20 <u>19</u>	Notary Signature and Seal 	

Nature of Request:

The applicant is requesting an Administrative Alternate to the transparency requirement of the City of Raleigh Unified Development Ordinance (UDO) for a proposed Sheetz on an IX-3 zoned parcel at the southeast quadrant of the Jones Sausage Road and Generosity Court intersection. The proposed building has three (3) street-facing facades orientated and described as the **front** facing **Generosity Court**, the **left** facing **Jones Sausage Road**, and the **right**, facing **Virtuous Street**. The applicant is requesting two (2) transparency alternates described further as Exhibits A and B. Exhibit A applies to two (2) street-facing facades and is broken out into two (2) parts; namely, Exhibit A1 (Generosity Court-front façade) and Exhibit A2 (Virtuous Street-right facade) while the transparency alternate request associated with Exhibit B applies to all three (3) street-facing facades.

A Courtesy Administrative Alternate Hearing was held on January 3, 2019 and an Administrative Site review application was submitted under Transaction #581448 / SR-2-2019/ Sheetz Generosity for review with comments received on or about February 2, 2019. The preliminary site plan and colored building elevations for all four (4) facades are included and attached to the application. The included findings, site plans, and colored elevations address the feedback received from the Appearance Commission during the January 3, 2019 Courtesy Administrative Alternate Hearing as well as the site review comments received from the City of Raleigh Staff for Transaction #581448 / SR-2-2019/ Sheetz Generosity.

Exhibit A

Although transparent and/or translucent windows will be provided that exceed the minimum 20% standard, the 50% of the transparency between 3' and 8' above grade standard is not met along the front façade facing Generosity Court due to the entirety of the windows not meeting the minimum distance of 4-feet maintained free of building materials, shelving or other impediments as required by the definition of "transparency" in UDO section 12.2 (Exhibit A1). Similarly, the overall 20% standard as well as the 50% between 3' and 8' is not met in its entirety by the definition of "transparency" along the right façade facing Virtuous Street (Exhibit A2).

Responses to Administrative Alternate Findings:

1. *The approved alternate meets the intent of the transparency requirements.*

Response: The intent of the transparency requirements is to (i) lend visual interest to street-facing building facades for both pedestrians and building occupants, and (ii) minimize blank wall areas.

Front façade facing Generosity Court (Exhibit A1). The front elevation is located over 145 feet from Generosity Court and separated by a 50 foot Tree Conservation Area, 10' Type C3 Street Protective Yard and other required site landscaping hindering the visual line of sight to the building transparency; however, this elevation exceeds the 20% transparency (as defined) requirement when calculating the size of the windows and storefront openings by 70.32 sf, or 25%. The interior equipment will obstruct 16.84 sf of the view into and out of the windows. Subtracting this 16.84 square footage from the windows and storefront openings area between 3' and 8' above finished grade, results in a transparency deficiently of approximately 15.92 sf short of the 50% requirement between 3' and 8' above grade.

The equipment is essential to the operation of the self-serve beverage line. The window sills are approximately 5'-9" from grade making it difficult to see any equipment through the windows from a close vantage point. The high windows also offer a level of privacy for the added outdoor seating along the southwest-facing building side, providing visual interest to the public. Additionally, this elevation minimizes the blank wall area and provides changes in building materials, all of which provide visual interest.

To address the transparency shortage described above, at the January 3, 2019 Courtesy Administrative Alternate Hearing, the Appearance Commission recommended we strategically position the location of the outdoor dining table umbrellas to block the view of the back of the equipment that would be exposed within the 16.84 sf when looking from the outside of the store. The umbrellas associated with the outdoor dining area along the façade facing Generosity Court have been relocated as reflected on the current site plan and elevations provided with this application.

Right façade facing Virtuous Street Court (Exhibit A2). The left elevation is located over 45 feet from Virtuous and separated by a 10' Type C3 Street Protective Yard and other required site landscaping hindering the visual line of sight to the building transparency; however, this elevation exceeds the 20% requirement but instead of providing windows that meet the definition of "transparency", the applicant is providing *translucent* windows in an amount that

exceeds the 20% transparency requirement as well as the 50% storefront openings required between 3' and 8'. The storefront door along this façade will offer direct views into the store meeting the transparency definition as well as the 50% requirement at 71.72 sf and 31.65 sf respectively with the translucent windows providing an additional 106.72 sf and 62.30 sf of additional glazing to fully meet the intent of the overall transparency/visual interest requirement. Translucent windows with awnings are being utilized along the right façade because portions of the inside of the building along this side are back-of-house uses, such as coolers, utility room, as well as the men's restroom which by their nature cannot have transparent windows that fully penetrate the wall offering direct unobstructed views into the building. Additionally, this street facing elevation minimizes the blank wall area and provides changes in building materials, all of which provide visual interest and minimize the blank wall area.

2. *The approved alternate conforms with the Comprehensive Plan and adopted City plans.*

Response: The Comprehensive Plan and other City-adopted plans do not provide any direct, specific guidance with regard to this property. The alternate request is consistent with the following general Comprehensive Plan policies: Policy UD 1.2, 1.3, and Policy UD 4.7.

3. *The street-facing building façade utilizes other architectural treatments to create visual interest to offset the reduction in transparency.*

Response: As noted above, all three (3) elevations provide: (i) transparent or translucent windows in an amount that exceeds the 20% transparency standard, (ii) a change of building materials and material color, and (iii) a change in roof line. Also, the elevations provide an outdoor seating area, building entrances with awnings, and signage. All of these architectural treatments and building elements create visual interest to offset the reduction in transparency.

Exhibit B

Per UDO Section 1.5.9 B4, glass should be considered transparent where it has a transparency higher than 80% and external reflectance less than 15%. The applicant's glass has a transparency of 38% and external reflectance of 11%. The alternate requested applies to the three (3) street facing facades; the front facing Generosity Court, the left facing Jones Sausage Road, and the right facing Virtuous Street as described further because all transparent windows will utilize the glazing treatment described above to satisfy Energy Code requirements.

Responses to Administrative Alternate Findings:

1. *The approved alternate meets the intent of the transparency requirements.*

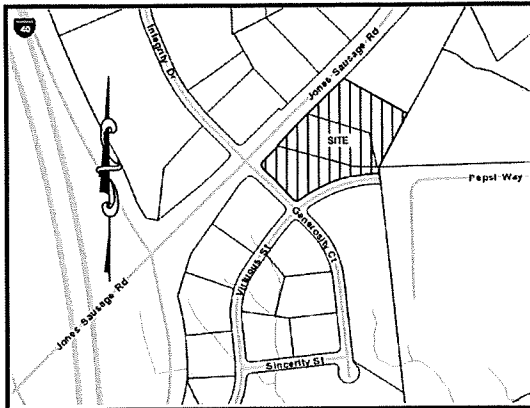
Response: The intent of the transparency requirements is to (i) lend visual interest to street-facing building facades for both pedestrians and building occupants, and (ii) minimize blank wall areas. The street facing facades are located about 145 feet from the Generosity Court right of way and approximately, 183 feet from the Jones Sausage Road, and approximately 45 from the Virtuous right of way. Both the southwest and northwest elevations pose sunlight in the afternoons. The proposed glass will improve the comfort of both the customers and the employees. Of equal significance, is while the requirement for the amount of transparency results in large windows that allow daylight and views to the outside, the impact of solar gains and glare should also be considered. The applicant's glass treatment offers a compromise.

2. *The approved alternate conforms with the Comprehensive Plan and adopted City plans.*

Response: The Comprehensive Plan and other City-adopted plans do not provide any direct, specific guidance with regard to this property. The alternate request is consistent with the following general Comprehensive Plan policies: Policy UD 1.2, 1.3, and Policy UD 4.7.

3. *The street-facing building façade utilizes other architectural treatments to create visual interest to offset the reduction in transparency.*

Response: As noted above, the elevation provides: (i) transparent/translucent windows in an amount that exceeds the 20% transparency standard, (ii) a change of building materials and material color, and (iii) a change in roof line. Also, the elevation provides an outdoor seating area, building entrance with awning, and signage. All of these architectural treatments and building elements create visual interest to offset the reduction in the transparency specification.



ALTANSPS SURVEYOR'S CERTIFICATION

To: SHEETZ JONES SAUSAGE, LLC, a North Carolina limited liability company, CONVENIENCE DEVELOPMENT PARTNERS, LLC, a Florida limited liability company and CHICAGO TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2018 Minimum Standards Detail Requirements for ALTANSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6, 8, 9, 11, and 13 of Table A thereof. The field work was completed on July 16, 2018. The date of this map or plat is July 19, 2018. Last Revised: August 13, 2018.

Surveyor's Signature
John A. Edwards Jr., P.L.S.

Name of Surveyor

L-2778

License Number



WILCOXESS LLC
PIN: 1721.06-49-2397
DB 1261, PG 2436
BM 1956, PG 843

NF
J. DAVO HOLDINGS LLC
PIN: 1721.06-49-4632
DB 15527, PG 1803
BM 1958, PG 843

NF
STONE & STONE ASSOC LLC
PIN: 1721.07-59-1533
DB 1300, PG 2020
BM 2013, PG 1483

LOT 2
PIN: 1721.06-49-8393
DB 16635, PG 2786
BM 2011, PG 811
99,841 S.F.
2.2920 AC.

LOT 3
PIN: 1721.06-49-7166
DB 16635, PG 2786
BM 2011, PG 811
88,157 S.F.
2.0238 AC.

LOT 12
PIN: 1721.06-49-6010
DB 16635, PG 2786
BM 2008, PG 1624
83,880 S.F.
(1.9256 AC.)

SURVEYOR'S NOTES

- All distances are horizontal ground.
- All dimensions are in feet unless otherwise noted.
- All areas computed using coordinates from measured field data.
- The ALTANSPS Land Title Survey shown hereon is NOT FOR RECORDATION.
- The survey satisfies all state-required minimum standards.
- The horizontal datum is NAD 83(2011) and vertical datum is NAVD83.
- Improvements within any official easement or servitude benefiting the subject properties are as shown on survey.
- The subject properties are located within an area having a Zone Designation "X" by FEMA Panels 37201721003 with an effective date of May 2, 2005. Subject property is located in a flood hazard area.
- Monuments have been placed at all major corners of the boundary of the subject property, unless already marked by existing monuments or unable to set due to concrete or inside building. Monuments include iron pipes, iron pipes with a cap and tack, mag nails, railroad spikes, concrete nails and concrete monuments.
- No observed evidence of current earth moving work, building construction or building additions.
- The site was located utilizing Real-Time Kinematic (RTK) Global Positioning System (GPS) solutions referencing the Continuously Operating Reference Station (CORS) network base station NCR1, Raleigh, NC.
- All references are made to the Wake County Registry.
- No evidence of recent street construction or sidewalk construction or repairs was observed at the time of survey. Surveyor has no knowledge of proposed right of way changes.
- There is no observed evidence of cemeteries or burial grounds on the property.
- There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
- The As Surveyed description describes the same property as the parcel described in the title commitment.
- No observed evidence of earth moving, building construction or building additions at the time of survey.
- No observed encroachments at the time of survey.
- Lot 12 has access to Jones Sausage Road, Generosity Court and Virtuous Street, all public rights of ways. Lots 2 and 3 have access to Jones Sausage Road, a public right of way.

SITE DATA

LOT 2
OWNER: JTS REAL ESTATE HOLDINGS LLC & FAS HOLDINGS LLC
PIN: 1721.06-49-1166
REFERENCES: DB 16635, PG 2786, BM 2011, PG 811
ZONING: IX-3-CU & IX-3
AREA: 88,157 S.F. (2.0238 AC.)
LOT 3
OWNER: JTS REAL ESTATE HOLDINGS LLC & FAS HOLDINGS LLC
PIN: 1721.06-49-8393
REFERENCES: DB 16635, PG 2786, BM 2011, PG 811
ZONING: IX-3-CU
AREA: 88,157 S.F. (2.0238 AC.)
LOT 12
OWNER: JTS REAL ESTATE HOLDINGS LLC & FAS HOLDINGS LLC
PIN: 1721.06-49-6010
REFERENCES: DB 16635, PG 2786, BM 2008, PG 1624
ZONING: IX-3-CU & IX-3
AREA: 83,880 S.F. (1.9256 AC.)

LEGEND

- BOOK OF MAPS
- DEED BOOK
- PAGE
- N/F NOW OR FORMERLY
- R/W RIGHT OF WAY
- EXISTING IRON PIPE
- EXISTING MAG NAIL
- IRON PIPE SET
- MAG NAIL SET
- CS COTTEN SPINDLE
- SSMH SANITARY SEWER
- CO SANITARY SEWER CLEAN OUT
- HB HOT BOX
- ST STORM
- QUY ANCHOR
- STORM CATCH BASIN
- WC WATER VALVE
- DI DROP INLET
- CONC CONCRETE
- SSMH SANITARY SEWER
- WM WATER METER
- LP LIGHT POLE
- GM GAS METER
- TP TELEPHONE PEDESTAL
- PH FIRE HYDRANT
- PP POWER POLE
- DMH ELECTRIC MANHOLE
- STMH STORM MANHOLE
- DENOTES CONCRETE
- DENOTES ADDRESS

- PROPERTY LINE
- RIGHT OF WAY LINE
- PROCP. LINE
- SURVEYED
- EASEMENT LINE

- CB
- DI
- GM
- LP
- PP
- TP
- WC
- WM
- SSMH

Drawing Scale 1" = 40'

ALTANSPS LAND TITLE SURVEY

Revisions	Number	Description	Date
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REV.1	TITLE UPDATE	8/10/18
REV.2	MISC. REVISIONS	8/13/18
REV.3	SUE LOCATIONS UPDATE	10/24/18

REF #

Drawing Scale 1" = 40'

Drawn By CLP

Checked By JAE, JR

Date Issued 7/19/2018 1 of 1

Page 6 of 16

Sheetz Raleigh Generosity

Courtesy Appearance Commission

Legend

Sheetz

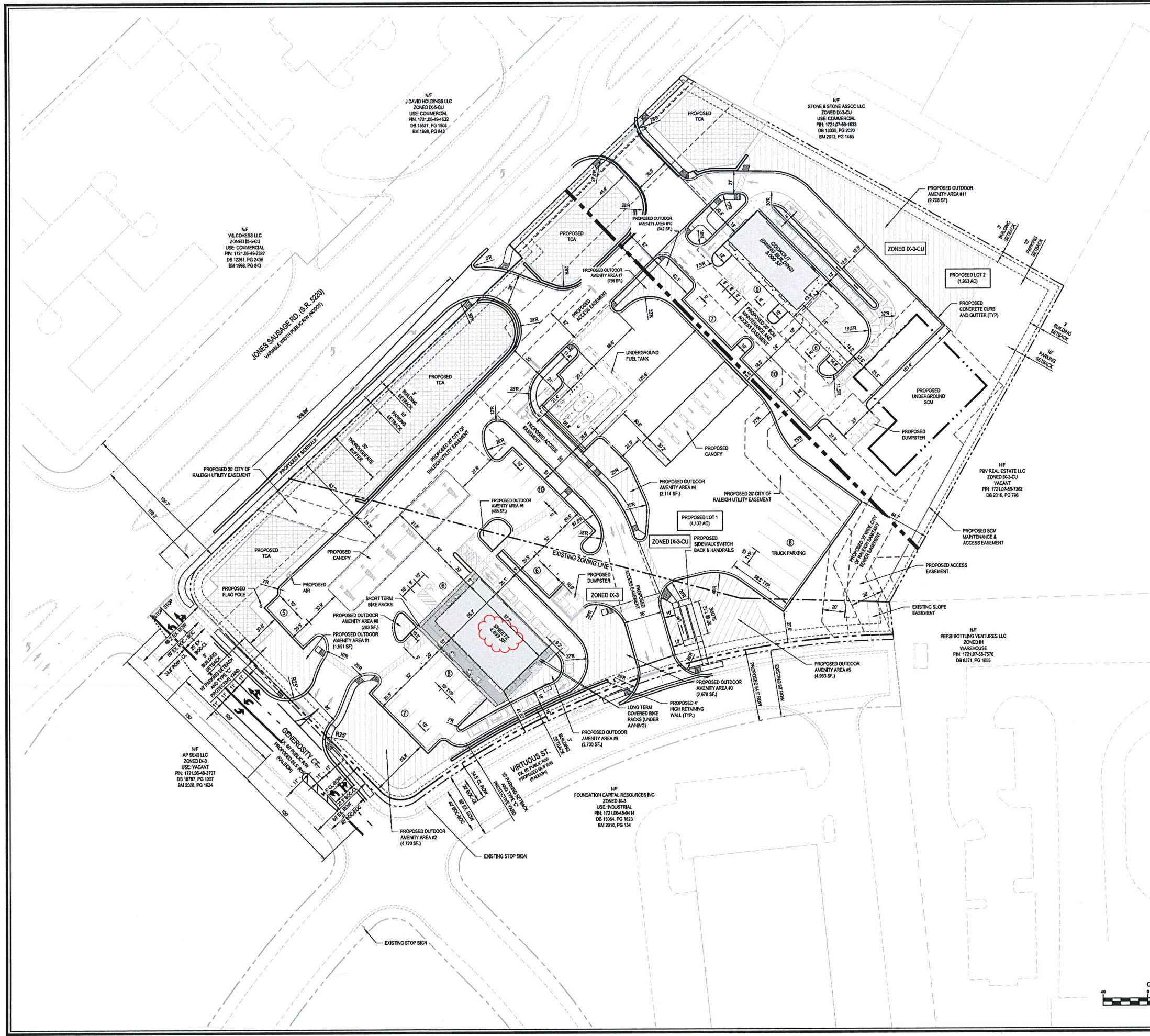
Generosity Ct

Google Earth

© 2013 Google

Page 7 of 16





- GENERAL NOTES:**
1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 3. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN OR THIS DEVELOPMENT.
 4. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 5. ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY WITHERSRAVENEL, CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN JUNE 2018, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN JUNE 2018.
 6. ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
 7. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
 8. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 9. DUMPSTER(S) ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 10. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 11. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 12. HANDICAP PARKING SPACE(S) AND HC ACCESS ARBLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) GRADE IN ANY DIRECTION(S) PER ADA STANDARDS.
 13. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES PER ADA STANDARDS.
 14. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT SHALL INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCLOSURE AGREEMENT.
 15. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRUSH ON THIS MINIMUM CORNER CLEARANCE.
 16. ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI STANDARDS.
 17. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 18. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 19. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 20. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT, TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.966.3000 TO SET UP THE MEETING.
 21. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 23. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHT-OF-WAY SERVICES@RALEIGHNC.GOV.
 24. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 25. ROW AND/OR EASEMENT DEDICATION PLAT IS REQUIRED FOR THIS PROJECT PRIOR TO CITY ACCEPTANCE OF UTILITIES.
 26. ALL RADI NOT SHOWN ARE 5' TO BACK OF CURB.
 27. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ANSI A117.1-2009 SECTIONS 402 & 403.
 28. PROPOSED SIGNAGE IS NOT INCLUDED IN THIS SUBMITTAL AS IT WILL BE REVIEWED AND APPROVED THROUGH SEPARATE SUBMITTAL.
 29. CONTRACTOR TO WORK WITH CITY AND UTILITY OWNERS TO VACATE EXISTING UNNECESSARY EASEMENTS.

PROPOSED LOT AREA TABLE	
PROPOSED LOT 1:	
LOT AREA = 179,874 S.F. (4.13 ACRES)	
PROPOSED ROW = 6,415 S.F. (0.15 ACRES)	
PROPOSED LOT 2:	
LOT AREA = 85,492 S.F. (1.96 ACRES)	
PROPOSED ROW = 0 S.F. (0 ACRES)	
PROPOSED LOT 1 & 2 COMBINED (OVERALL):	
LOT AREA = 265,366 S.F. (6.09 ACRES)	
PROPOSED ROW = 6,415 S.F. (0.15 ACRES)	

BIKE RACK CALCULATIONS	
PROPOSED LOT 1:	
SHORT TERM	REQUIRED: 4 SPACES
PROVIDED:	4 SPACES
LONG TERM	REQUIRED: 4 SPACES
PROVIDED:	4 SPACES
PROPOSED LOT 2:	
SHORT TERM	REQUIRED: 4 SPACES
PROVIDED:	4 SPACES
LONG TERM	REQUIRED: 4 SPACES
PROVIDED:	4 SPACES

OUTDOOR AMENITY CALCULATIONS	
REQUIRED AREAS:	
PROPOSED LOT #1: 179,874 SF x 10% = 17,987 SF (0.413 AC.)	
PROPOSED LOT #2: 85,492 SF x 10% = 8,549 SF (0.196 AC.)	
OVERALL REQUIRED TOTAL:	26,536 SF (0.609 AC.)
PROPOSED AREAS:	
PROPOSED LOT #1	
AREA #1: 1,991 S.F. (0.05 ACRES)	
AREA #2: 4,720 S.F. (0.09 ACRES)	
AREA #3: 2,678 S.F. (0.06 ACRES)	
AREA #4: 2,114 S.F. (0.04 ACRES)	
AREA #5: 4,963 S.F. (0.09 ACRES)	
AREA #6: 455 S.F. (0.01 ACRES)	
AREA #7: 798 S.F. (0.01 ACRES)	
AREA #8: 283 S.F. (0.01 ACRES)	
AREA #9: 2,730 S.F. (0.06 ACRES)	
TOTAL PROP. LOT #1: (0.42 ACRES)	
PROPOSED LOT #2	
AREA #10: 942 S.F. (0.02 ACRES)	
AREA #11: 9,708 S.F. (0.22 ACRES)	
TOTAL PROP. LOT #2: (0.20 ACRES)	

PROPOSED TCA (SEE SHEET T1.0-T1.2)

PROPOSED OUTDOOR AMENITY AREA

GRAPHIC SCALE

1" = 40'

811

KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.

WithersRavenel

Engineers | Planners | Surveyors

115 N. Main Street, Suite 200, Raleigh, NC 27601

115 N. Main Street, Suite 200, Raleigh, NC 27601

SHEETZ - GENEROSITY

JONES SAUSAGE ROAD

SITE PLAN

Job No. 02180389

Date 12/28/2018

Drawn By WR

Designer WR

NORTH CAROLINA PROFESSIONAL ENGINEERING EXAMINER

PRELIMINARY

NOT APPROVED FOR CONSTRUCTION

DAVID D. BARTON

Revisions

1 CITY OF RALEIGH REVISIONS 04/05/2019

Sheet No.

C2.0

1. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING GRASSES, WOODS, ETC., REFER TO THE SITE AND GRADING PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND ILLCOIT, IF APPLICABLE.
3. NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLOR), LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
4. THE SITE SHALL BE ESTABLISHED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
5. ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO, TELEPHONE AND CABLE pedestals, ELECTRICAL TRANSFORMERS, BACKFLOW PREVENTER, ETC.) SHALL BE SCREENED FROM SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
6. ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED A M.A. STANDARD AS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", 2004 OR LATER EDITION.
7. ALL TREES AND SHRUB SHALL BE FULL, WELL-BRANCHED PLANTS WHICH ARE CHARACTERISTIC TO THE SPECIES.
8. ALL PLANT BEDS TO BE IRRIGATED WITH A MINIMUM OF 3" TRIPLE SHIELDED HARDWOOD MULCH; DIED; BROWN; 7 MAXIMUM PARTICLE SIZE, NO PINE STRAW PERMITTED. ALL PLANT DISTRIBUTIONS SHALL BE IRRIGATED AS ONE BED.
9. APPLY PER EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
10. PLANTED AREAS SHALL BE RIPPERED AND SUB-SOILED TO A MINIMUM DEPTH OF 12 INCHES. TOPSOIL SHALL BE SPREAD OVER THE ENTIRE LANDSCAPE AREA TO A DEPTH OF AT LEAST 4 INCHES IN LAWN AREAS AND 6 INCHES IN DRIVE AND GRASS/SHRUB BEDS.
11. FINAL LOCATION OF ALL TURF AREAS SHALL BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
12. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. VERIFICATION OF PLANT QUANTITIES SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
14. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONFLICTS OCCUR, PLANT LOCATIONS SHOULD BE ADJUSTED AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT BEFORE ANY HOLES ARE DUG.
15. WITHIN THE RIGHT TRAILERES DRIVEN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT FROM THE CURB OR ELEVATION SHALL BE LOCATED IN WALKER OR PLANT DISTRIBUTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERR, FLOWAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
16. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY OF RALEIGH TREE MANUAL.
17. ALL PLANT MATERIAL SHALL BE PROCURED AND INSTALLED WHEN SEASONALLY APPROPRIATE FOR THE SPECIES.

SHEETZ:	195,230 SF
1 TREE / 2,000 SF	= 54 TREES REQUIRED
	= 54 TREES PROVIDED
COOKOUT:	31,472 SF
1 TREE / 2,000 SF	= 16 TREES REQUIRED
	= 16 TREES PROVIDED

JONES SAUSAGE ROAD - SEGMENT A (65 LF)
EXISTING VEGETATION MEETS REQUIREMENTS (SEE T1.0)

JONES SAUSAGE ROAD - SEGMENT C (229 LF)

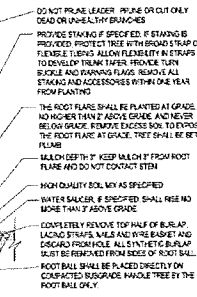
STREET TREES:
1 TREE / 40 LF = 3 TREES REQUIRED

STREET TREES:
1 TREE / 40 LF = 2 TREES REQUIRED

STREET TREES:
1 TREE / 40 LF = 6 TREES REQUIRED

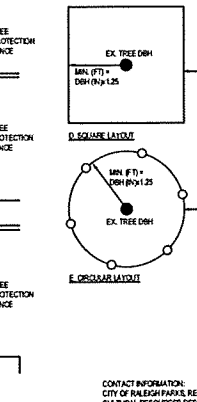
STREET TREES:

1 TREE / 40 LF	* 4 TREES REQUIRED
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	CITY OF RAIL
	STANDARD DE
REVISION	D.S.F.W.
DATE	
	TREE PLAN

DATE	DATE #12
TIME	TIME
LOCATION	LOCATION
PROJECT	PROJECT
DESCRIPTION	DESCRIPTION
REMARKS	REMARKS
DATE	DATE
TIME	TIME
LOCATION	LOCATION
PROJECT	PROJECT
DESCRIPTION	DESCRIPTION
REMARKS	REMARKS



CITY OF B...

FREE PROTECTION

1. The first line of the document is a header containing the text "1. The first line of the document is a header containing the text".

* REFER TO THE TREE COVER REPORT FOR ALL TREE CONSERVATION AREAS. ALL TREES WITHIN THE 500' DISTANCE TRIANGLE SHALL BE

- * REFER TO THE TREE COVER REPORT FOR ALL TREE CONSERVATION DETAILS.
- * ALL TREES WITHIN THE SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP TO 6'
- * REFER TO SITE PLAN FOR OPEN SPACE AREA

PLANT SCHEDULE							
QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	HEIGHT	NOTES
CANOPY TREES							
28	CCA	<i>Carpinus caroliniana</i>	Myrtle-leaf	B&B	3' CAL MIN.	10' MIN.	MUST HAVE DOMINANT LEADER
24	NSY	<i>Nyssa sylvatica</i>	Black Tupelo	B&B	3' CAL MIN.	10' MIN.	MUST HAVE DOMINANT LEADER
15	UPA	<i>Ulmus parviflorus</i> 'Bossut'	Chinese Elm	B&B	3' CAL MIN.	10' MIN.	MUST HAVE DOMINANT LEADER
UNDERSTORY TREES							
10	MVI	<i>Magnolia virginiana</i>	Sweetbay Magnolia	B&B	3' CAL MIN.	10' MIN.	SINGLE STEM ONLY
5	PPE	<i>Parrotia persica</i>	Persian Flower-cot	B&B	3' CAL MIN.	10' MIN.	SINGLE STEM ONLY
SHRUBS							
4	ARO	<i>Aronia arbutifolia</i>	Red Chokeberry	CONT.		36" MIN.	MYLANOCARPA IS SUITABLE ALTERNATE
22	ARA	<i>Aronia arbutifolia</i>	Red Chokeberry	CONT.		24" MIN.	MYLANOCARPA IS SUITABLE ALTERNATE
43	DBB	<i>Driftelm myrsinoides</i> 'Blue Cascade'	Drift Elm	CONT.		18" MIN.	N/A
85	GL	<i>Rosa glabra</i>	Wildberry	CONT.		18" MIN.	N/A
14	ELH	<i>Eleocharis glabra</i>	Wildberry	CONT.		36" MIN.	DRIVE THRU
105	HN	<i>Hamamelis virginiana</i> 'Hans'	Wax Yellow-bell	CONT.		18" MIN.	N/A
53	LJR	<i>Ligustrum japonicum</i> 'Recurvatum'	Curly Leaf Ligustrum	CONT.		36" MIN.	N/A
14	JEX	<i>Juniperus chinensis</i> 'Blue Point'	Blue Point Juniper	CONT.		18" MIN.	N/A
25	JSC	<i>Juniperus chinensis</i> 'Spartan'	Spartan Juniper	CONT.		24" MIN.	N/A
20	JVC	<i>Juniperus virginiana</i> 'Sky Wolf'	Sky Wolf Red Cedar	CONT.		36" MIN.	UTILITY SCREEN - DRIVETHRU
65	RN	<i>Rosa glabra</i> 'Iceberg Snow White'	Snow White Home rose	CONT.	3 GAL MIN.	12' MIN.	N/A
9	SBA	<i>Spiraea burgundi</i> 'Anthony Walster'	Wax Spirea	CONT.		18" MIN.	SEASONAL INTEREST
HERBACEOUS							
45	POK	<i>Polemonium coeruleum</i> 'Barney Rose'	Pink Fourteen Grass	CONT.	3 GAL MIN.	12' MIN.	SEASONAL INTEREST

1. THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH, ANY DEAD, UNHEALTHY OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THE UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS ARE PRESENT) REGARDING THE REPLACEMENT OF PLANT MATERIALS. IN THE EVENT THAT REQUIRED LANDSCAPE IS SEVERELY DAMAGED TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.

2. ALL PLANTING AREAS MUST BE STABILIZED FROM SOIL EROSIONS IMMEDIATELY UPON PLANTING AND MUST BE MAINTAINED FOR THE DURATION OF THE USE.

3. ALL REQUIRED LANDSCAPING SHALL BE ALLOWED TO REACH ITS REQUIRED SIZE AND SHALL BE MAINTAINED AT THE REQUIRED SIZE.

4. EXCEPT FOR TRIMMING AND CROWN REDUCTION, THE CITY OF CHICAGO DOES NOT ISSUE A PERMIT FOR THE REMOVAL OF A TREE. A CITY OF CHICAGO PERMIT ISSUED BY THE CITY FORESTRY SPECIALIST FOR PRUNING AND TRIMMING DONE UNDER AN ISSUED PERMIT IN STRICT ACCORDANCE WITH THE LINE CLEARANCE POLICIES AND STANDARDS GOVERNING SUCH ACTIVITIES ESTABLISHED PURSUANT TO PART 9, CHAPTER 8, REQUIRED LANDSCAPING SHALL NOT BE CUT OR EXCESSIVELY TRIMMED OR OTHERWISE DAMAGED SO THAT THEIR NATURAL FORM IS IMPAIRED.

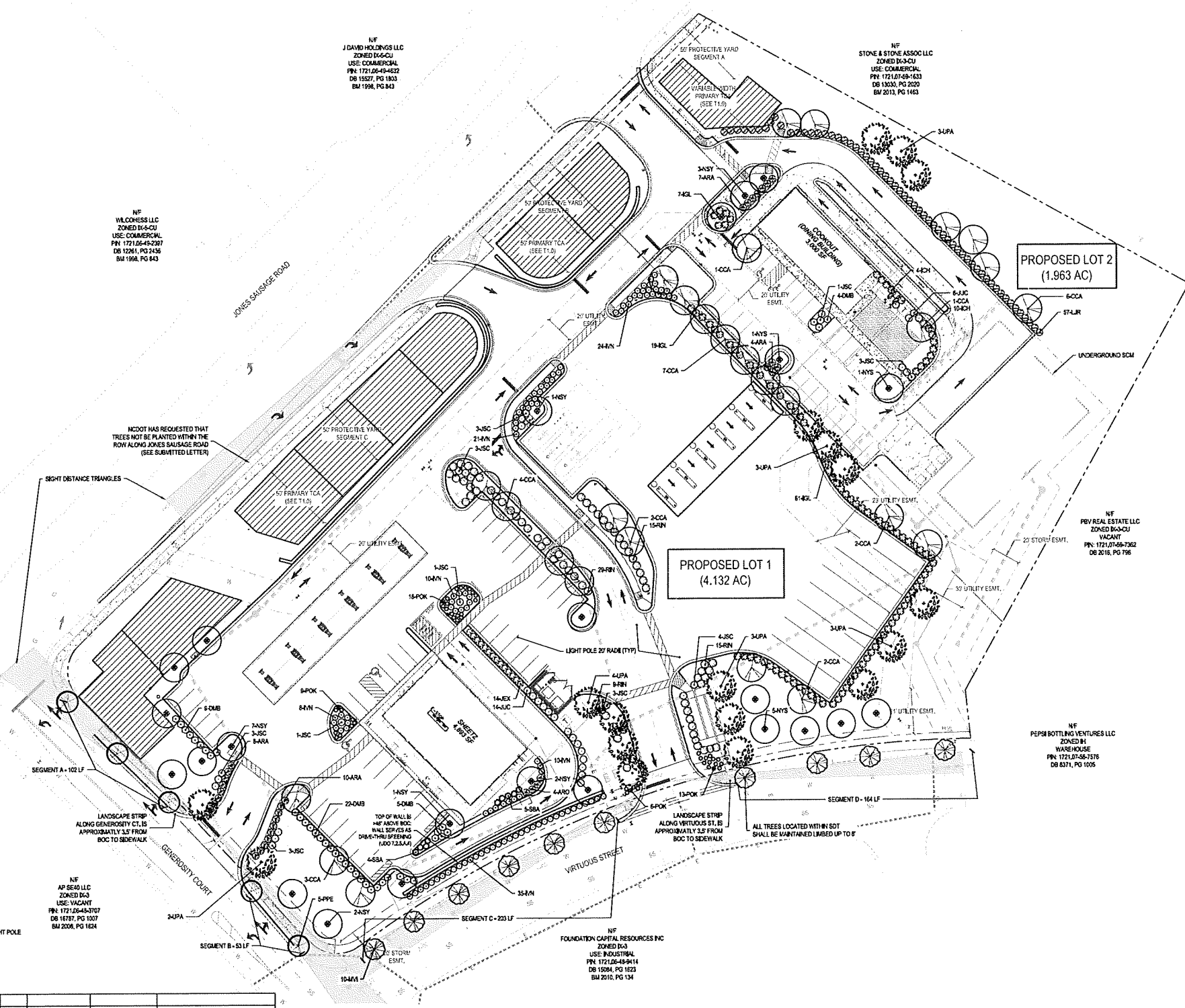
5. A VIOLATION OF THIS SECTION SHALL SUBJECT THE VIOLATOR TO A CIVIL PENALTY OF A MINIMUM OF \$1,000 FOR THE FIRST TREE PLUS \$100 PER CALIPER IN EXCESS OF 10" FOR EACH OTHER TREE OR TREES OF EQUAL OR GREATER CALIPER THAT ARE ILLEGALLY REMOVED OR EXCESSIVELY TRIMMED.

6. THE CIVIL PENALTY SHALL BE PROCESSED AS SET FORTH IN SEC. 10-4.2. IN ADDITION TO THIS CIVIL PENALTY, IF MORE THAN 50% OF THE CROWN OF A TREE IS REMOVED WITHIN A CONTINUOUS FIVE-YEAR PERIOD OR MORE THAN 40% OF THE CRITICAL ROOT ZONE OF THE TREE IS SUBJECTED TO TREE DISTURBING ACTIVITY OR IF MORE THAN 1/4 OF THE CIRCUMFERENCE OF THE TREE IS EXPOSED BY PRUNING CUTS, THE OWNER OF THE REAL PROPERTY, WHERE A VIOLATION HAS OCCURRED, SHALL REPLACE EACH UNLAWFULLY PRUNED OR OTHER MECHANICALLY WOUNDED, DAMAGED, EXCESSIVELY TRIMMED OR REMOVED TREE WITH A REPLACEMENT TREE.

7. ANY REPLACEMENT TREE SHALL HAVE A MINIMUM CALIPER OF 3" AND BE AT LEAST 10' TALL AT TIME OF PLANTING. ANY REPLACEMENT TREE NOT PLANTED IN THE ORIGINAL LOCATION SHALL BE PLANTED IN A PLANTING AREA OF AT LEAST 200 SF IN AREA WITH MINIMUM DIMENSION OF 10'.

8. IF THE PROPERTY AREA WHERE THE VIOLATION HAS OCCURRED FAILS TO CONTAIN SUFFICIENT LAND AREA TO REPLANT THE REQUIRED REPLACEMENT TREES, THE CITY FORESTRY SPECIALIST SHALL DETERMINE THE REQUIRED REPLACEMENT TREES TO BE PLANTED. THE CITY FORESTRY SPECIALIST SHALL DETERMINE THE CALIPER OF THE REPLACEMENT TREES TO BE PLANTED. A FEE EQUAL TO \$100 PER CALIPER INCH OF REPLACEMENT TREES SHALL BE PAID TO THE CITY.

9. THE CITY FORESTRY SPECIALIST MAY REQUIRE CROWN RESTORATION AND CROWN REDUCTION FOR ANY UNLAWFULLY PRUNED, DAMAGED OR EXCESSIVELY TRIMMED TREE, ALL SUCH CORRECTIVE PRUNING SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.



GRAPHIC SCALE

40 0 20 40

1 inch = 40 ft.



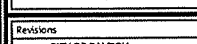
KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.



RALEIGH, NORTH CAROLINA

**SHEETZ - GENEROSITY
JONES SAUSAGE ROAD**

LANDSCAPE PLAN



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LT.0



FRONT ELEVATION (SOUTHWEST - FACING GENEROSITY CT)

FRONT ELEVATION (FACING GENEROSITY CT)

TRANSPARENCY CALCULATIONS:

ELEVATION AREA:
1,406 SF (85' L x 16' H - TOP OF WALL PLATE)

REQUIRED DOORS & WINDOWS AT GROUND STORY:
281.6 SF 20% OF ELEVATION AREA
140.8 SF 50% OF REQUIRED TRANSPARENCY
TO BE BETWEEN 3' & 8' ABV FIN GRADE

PROVIDED:
368.76 SF OPENINGS
[(6' x 6' x 5.6')] + [(12' x (2.5' + 11.33'))
[201.6 SF] + [167.16 SF]
141.72 SF OPENINGS BETWEEN 3' & 8' ABV FIN GRADE
[(6' x 6' x 2.27')] + [(12' x 5')
[81.72 SF] + [60 SF]

BLANK WALL CALCULATIONS:
50.00 LF MAXIMUM ALLOWED DISTANCE
21.25 LF LONGEST BLANK WALL SEGMENT

LEFT ELEVATION (FACING JONES SAUSAGE ROAD)

TRANSPARENCY CALCULATIONS:

ELEVATION AREA:
900 SF (56.25' L x 16' H - TOP OF WALL PLATE)

REQUIRED DOORS & WINDOWS AT GROUND STORY:
180 SF 20% OF ELEVATION AREA
90 SF 50% OF REQUIRED TRANSPARENCY
BETWEEN 3' & 8' ABV FIN GRADE

PROVIDED:
319.81 SF OPENINGS
[5' x 11.33'] + [(2' x (6' x 8')) + (12' x (2.5' + 11.33'))
[56.65 SF] + [96 SF] + [167.16 SF]
141.04 SF OPENINGS BETWEEN 3' & 8' ABV FIN GRADE
[5' x 5'] + [(2' x (6' x 4.67')) + (12' x 5')
[25 SF] + [56.04 SF] + [60 SF]

BLANK WALL CALCULATIONS:
50.00 LF MAXIMUM ALLOWED DISTANCE
6.17 LF LONGEST BLANK WALL SEGMENT

NOTE:
BUILDING SIGNAGE IS SHOWN FOR
ILLUSTRATIVE PURPOSES ONLY. SIGNAGE WILL
BE SUBMITTED FOR SEPARATE PERMITTING
APPROVAL PER UDO REQUIREMENTS.



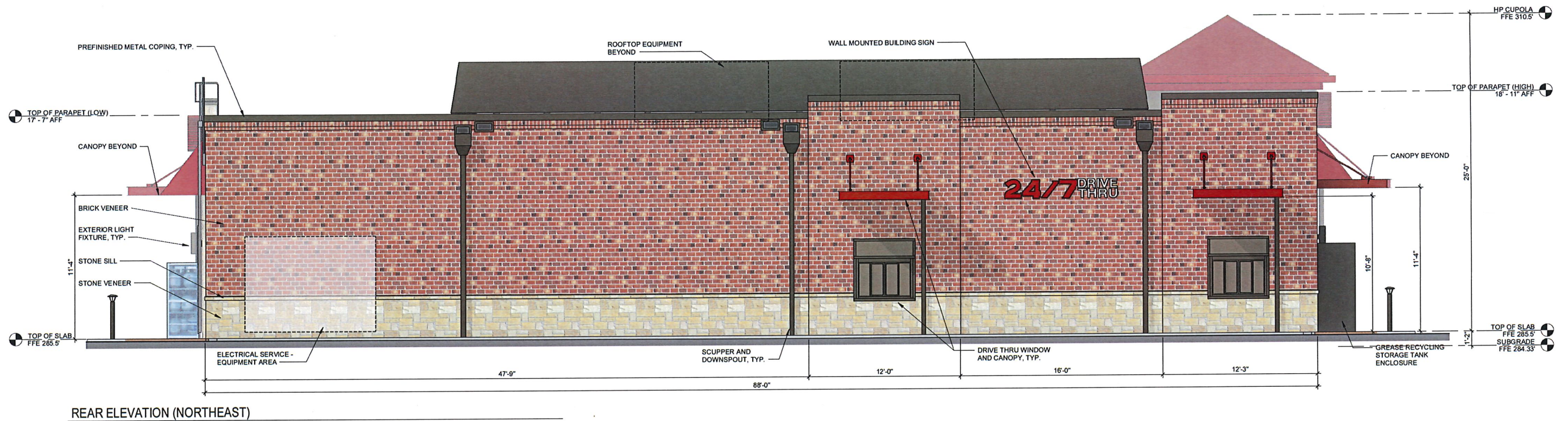
LEFT ELEVATION (NORTHWEST - FACING JONES SAUSAGE RD)

PROPOSED EXTERIOR BUILDING ELEVATIONS

SHEETZ STORE
RALEIGH, NC - GENEROSITY

APRIL 2019





REAR ELEVATION (NORTHEAST)

TRANSPARENCY CALCULATIONS:
(BEYOND SCOPE OF UDO REQUIREMENTS)

ELEVATION AREA:
1,408 SF (88' L x 16' H - TOP OF WALL PLATE)

PROVIDED:
40.50 SF OPENINGS
[(2) x (4'5" x 4'5")]
40.50 SF OPENINGS BETWEEN 3' & 8' ABV FIN GRADE

BLANK WALL CALCULATIONS:
50.00 LF MAXIMUM ALLOWED DISTANCE
51.50 LF LONGEST BLANK WALL SEGMENT

RIGHT ELEVATION (FACING VIRTUOUS ST)

TRANSPARENCY CALCULATIONS:

ELEVATION AREA:
892 SF (55.75' L x 16' H - TOP OF WALL PLATE)

REQUIRED DOORS & WINDOWS AT GROUND STORY:
178.4 SF 20% OF ELEVATION AREA
89.2 SF 50% OF REQUIRED TRANSPARENCY
BETWEEN 3' & 8' ABV FIN GRADE

PROVIDED:
71.72 SF OPENINGS
[6'3" x 11'3"]
106.72 SF ADDITIONAL TRANSLUCENT GLAZING
[(2) x (6'6" x 8')]
178.44 SF
31.65 SF OPENINGS BETWEEN 3' & 8' ABV FIN GRADE
[5' x 6'3"] +
62.30 SF TRANSLUCENT GLAZING BTWN 3' & 8' ABV FIN GRADE
[(2) x (6'6" x 4'6")]
93.95 SF

BLANK WALL CALCULATIONS:
50.00 LF MAXIMUM ALLOWED DISTANCE
19.08 LF LONGEST BLANK WALL SEGMENT

NOTE:
BUILDING SIGNAGE IS SHOWN FOR
ILLUSTRATIVE PURPOSES ONLY. SIGNAGE WILL
BE SUBMITTED FOR SEPARATE PERMITTING
APPROVAL PER UDO REQUIREMENTS.




PROPOSED EXTERIOR BUILDING ELEVATIONS

SHEETZ STORE
RALEIGH, NC - GENEROSITY

APRIL 2019

Window Glazing Treatment




Colour Swatch & Performance Data

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Product Details

Interactive Building

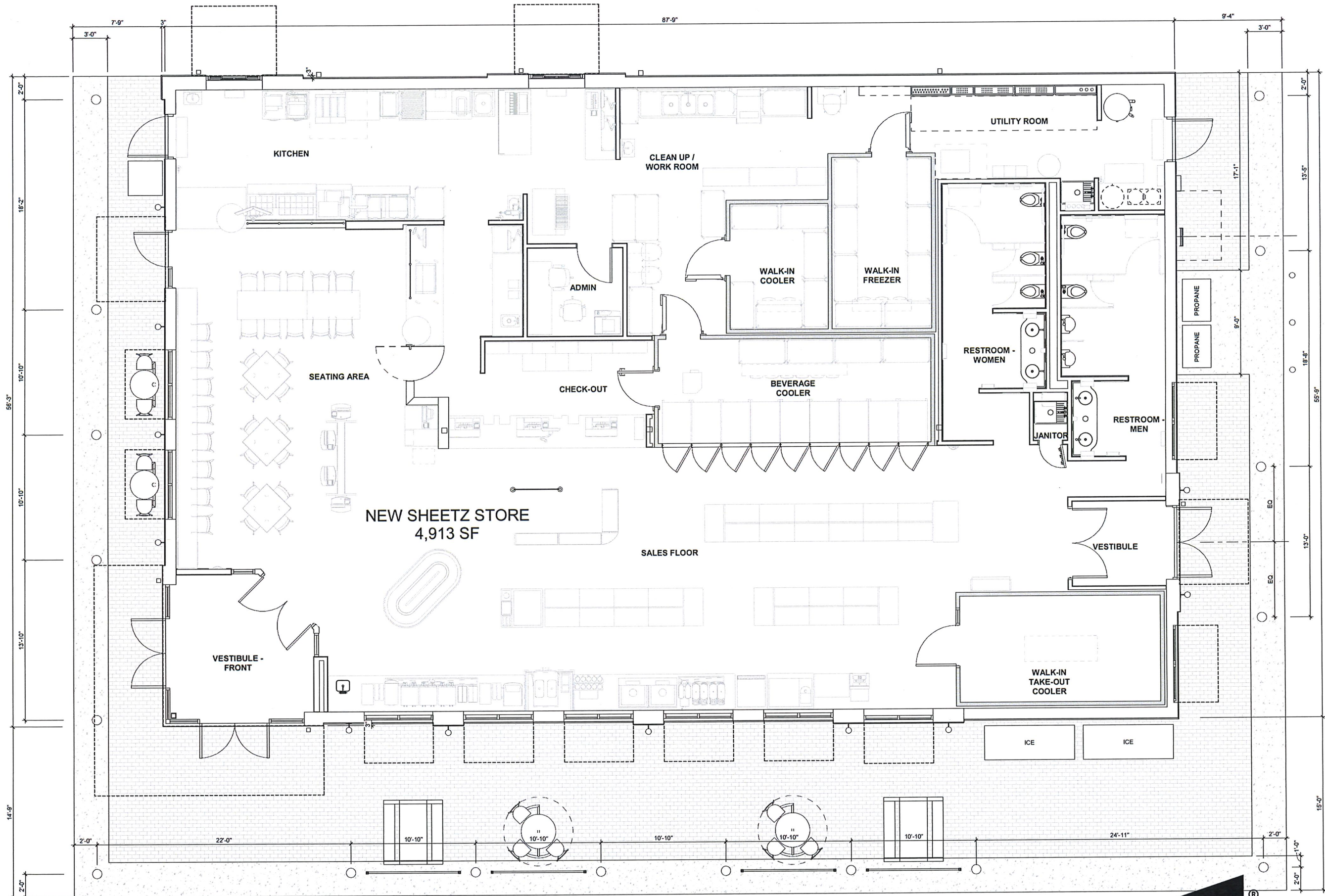


Pilkington Eclipse Advantage™ Bronze

Light Transmission:	38%
Total Solar heat transmission:	45%
Reflection (outside-in):	11%
Reflection (inside-out):	27%

Left Facing Jones Sausage Court

Right Facade Facing Virtuous Street



PROPOSED FLOOR PLAN

SHEETZ STORE
RALEIGH, NC - GENEROSITY

FEBRUARY 2019

Front Facade Facing Generosity Court

Example Front Facade Facing Generosity Court



Example Right Facade Facing Virtuous Street



Sheetz to Add Translucent Faux Windows with Awnings to this facade. Refer to Architectural Elevations

Front Facade Looking Into Beverage Line



Back of F'Real Shake Blender Equipment

Example Left Facade Facing Jones Sausage



Indoor Dining Area

Beverage Line Along Front Facade with F'Real Blending Equipment Extending Above the Window Sill

